

[illegible]

The dimensions, bearings, and areas of the parcel boundaries have been adopted from the deposited plan and have not been thoroughly investigated. Any bearing, distance, area, setback, or other dimension may be subject to change with further investigation and lodgement of a plan at the land titles office.

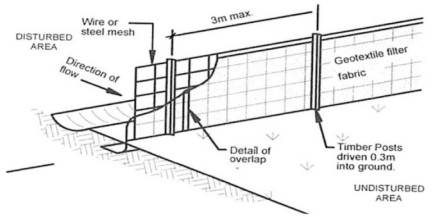
Therefore, during the site peg out before construction works commence, there may be some minor discrepancies with the setbacks between buildings as shown on the site plan. The displayed contours are indicative of surface topography only, and surveyed spot levels are the only values at which reduced level can be relied upon. Contours are displayed at 1 metre major and 0.25 metre minor intervals.

We strongly recommend that the boundary identification survey should be performed and the surveyor must peg out the proposed development relative to the boundaries and any existing dwellings. The services shown have been derived from visual evidence apparent at the time of survey, and it is strongly advised to visit "Dial Before You Dig" prior to any excavation or construction and verify locations with a suitably qualified service locator prior to any works or critical design. It is strongly advised to review an up-to-date title search and give careful consideration to all ASSEMBLIES prior to any planning or construction. Tree and roof profile details are approximate only.

Prior to entering the site, please take a moment to review and become familiar with the emergency contacts and site induction information. If you have any difficulties understanding the instructions, please contact your site supervisor before entering the site.

There is a high probability that services and external conduits are located near the water flow reader, and it is common to see protruding conduits from the ground. The project manager will provide guidance if services and external conduits need to be relocated to a different location.

Do not scale drawings. The written dimensions of plans take precedence.
Report any discrepancies to DIY Granny Flat before commencing any construction works.



Notes

1. All run off and sediment control structures will be maintained in a functional condition.
2. Areas not used for building should be retained with vegetation.
3. Revegetation on retain cut and fills as soon as possible during construction.

Sediment Control Notes:

- All erosion and sedimentation control measures including revegetation and storage of topsoil shall be implemented to the standards of the soil conservation of NSW.
- All drainage works shall be constructed and stabilised as early as possible during development.
- Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trench.
- All sediment basins and traps shall be cleared when the structures are a maximum of 60% full of soil materials, including the maintenance period.
- All disturbed areas shall be revegetated as soon as the relevant work are completed.
- Soil and topsoil stockpiles shall be located away from drainage lines and area where water may concentrate.
- Filter shall be constructed by stretching a filter fabric (propex or approved equivalent) between posts at 3.0m centres. Fabric shall be buried 150mm along its lower edge.

[illegible]

SHEET TITLE:

Site Plan

PROJECT DESCRIPTION:
Conversion Of Existing Stereotype
41-41A Garrong Road
Lakemba NSW 2195

DRAWINGS PROVIDED BY:
Mark Marsden
BE (MIEAust.)

DATE:
18.03.2024

SCALE:

1/200

SHEET:

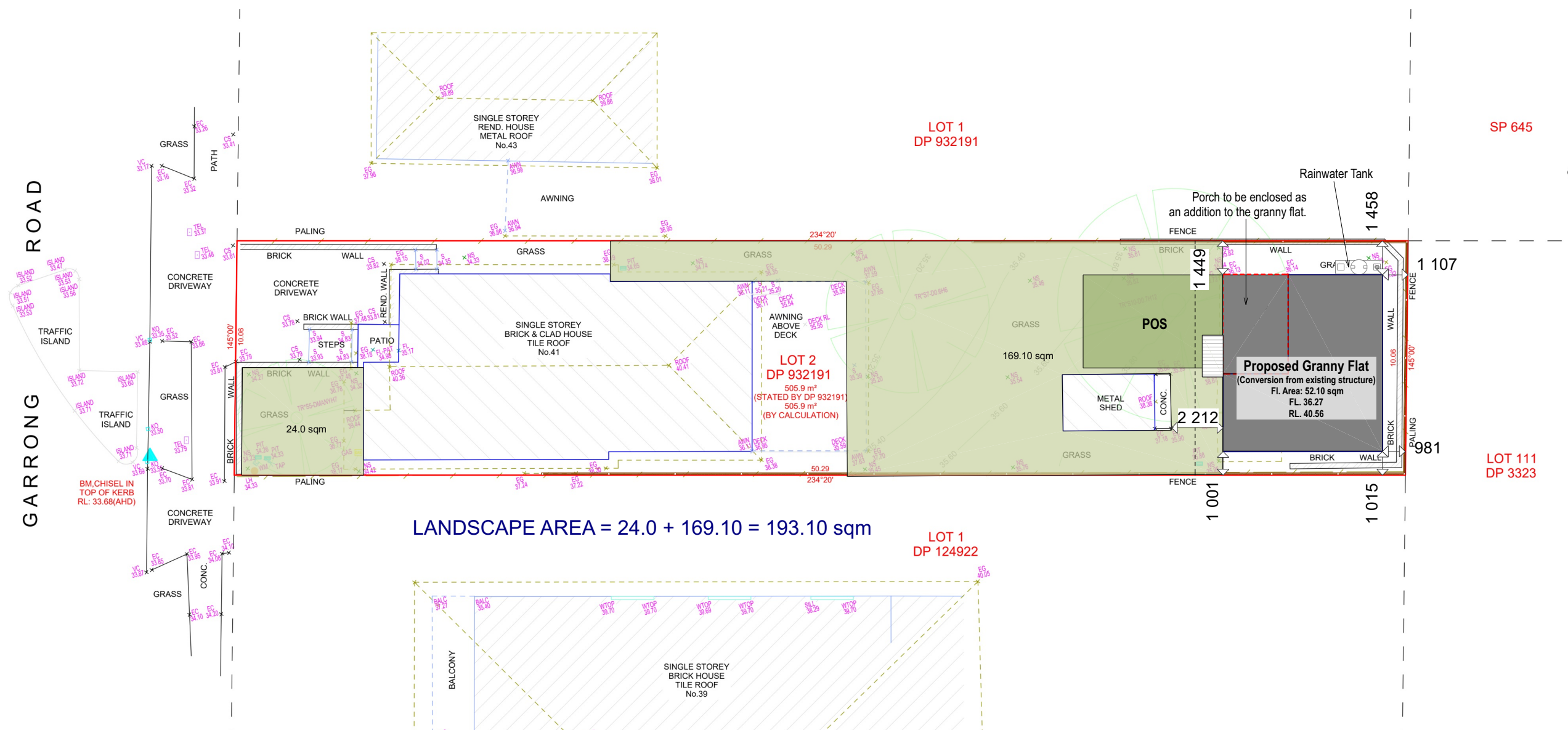
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Landscape Plan

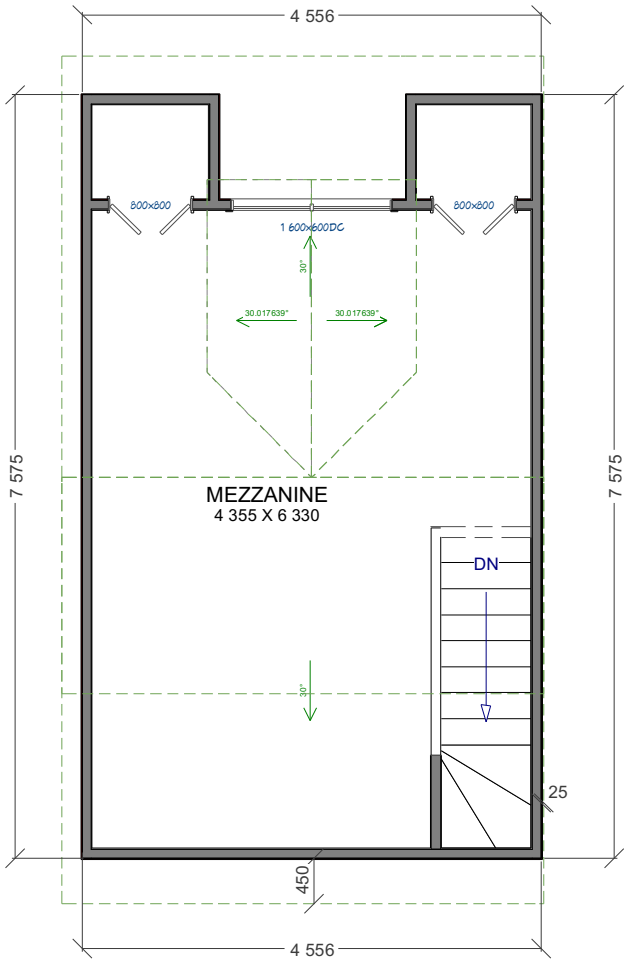
DRAWINGS PROVIDED BY:
Mark Marsden
BE (MIEAust.)

2

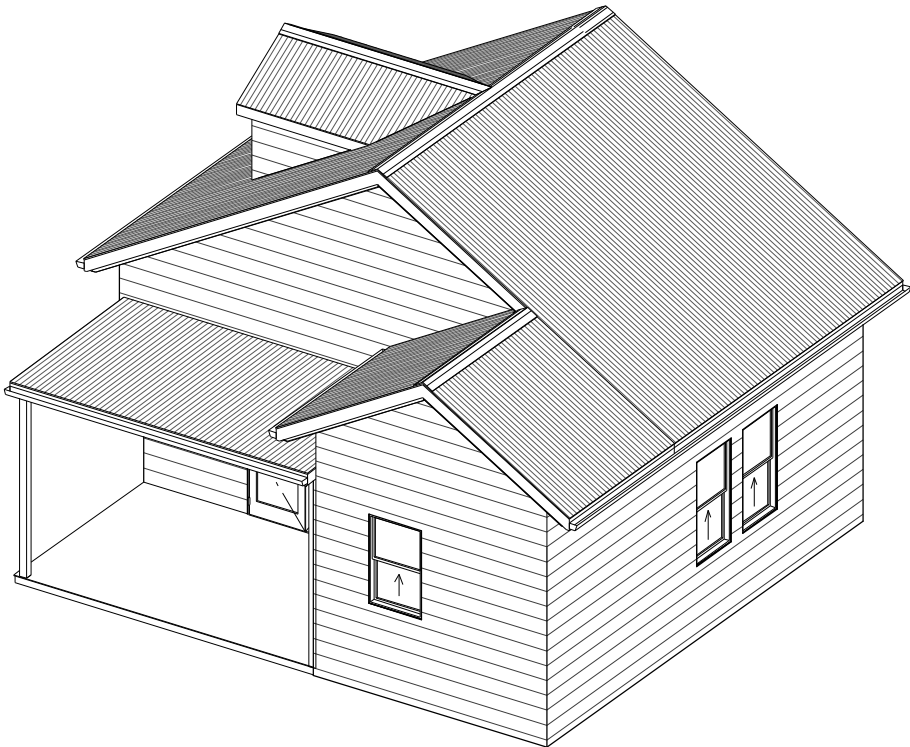
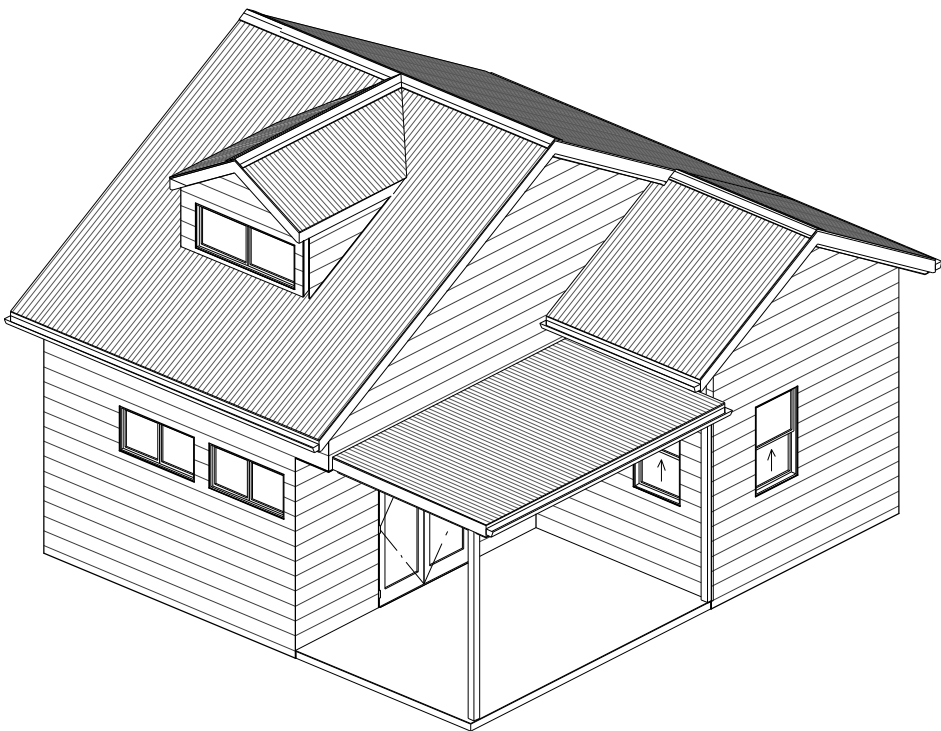




Existing Ground Floor



Existing First Floor



REVISION TABLE	
NUMBER	DATE

SHEET TITLE:
Existing Plans

PROJECT DESCRIPTION:
Conversion Of Existing Structure
41-41A Garrong Road
Lakemba NSW 2195

DRAWINGS PROVIDED BY:
Mark Marsden
BE (MIEAust.)

DATE:

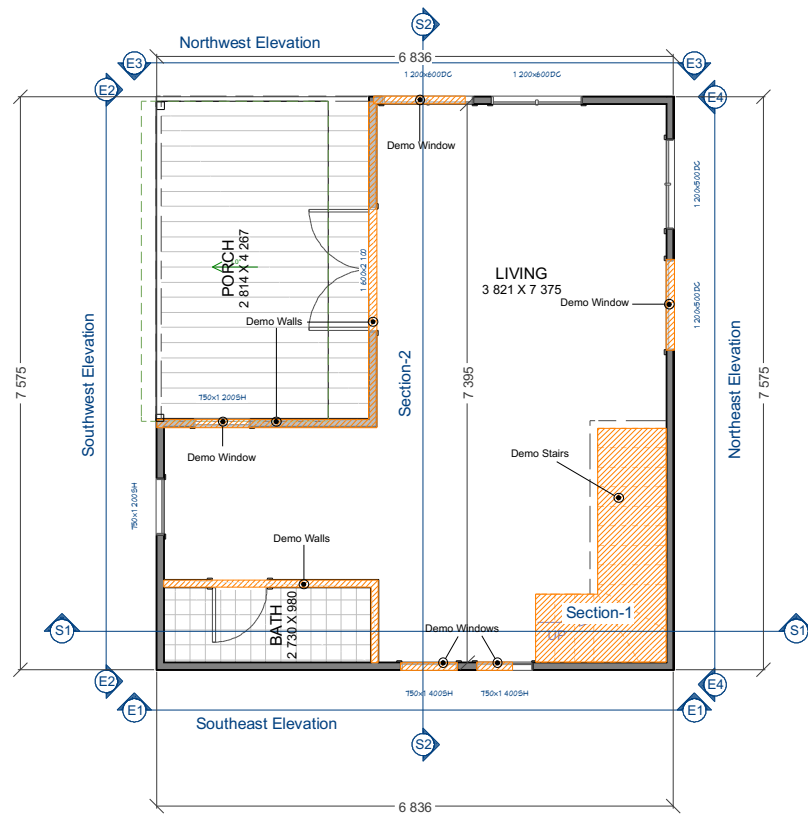
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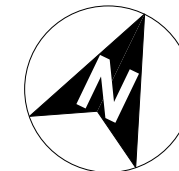
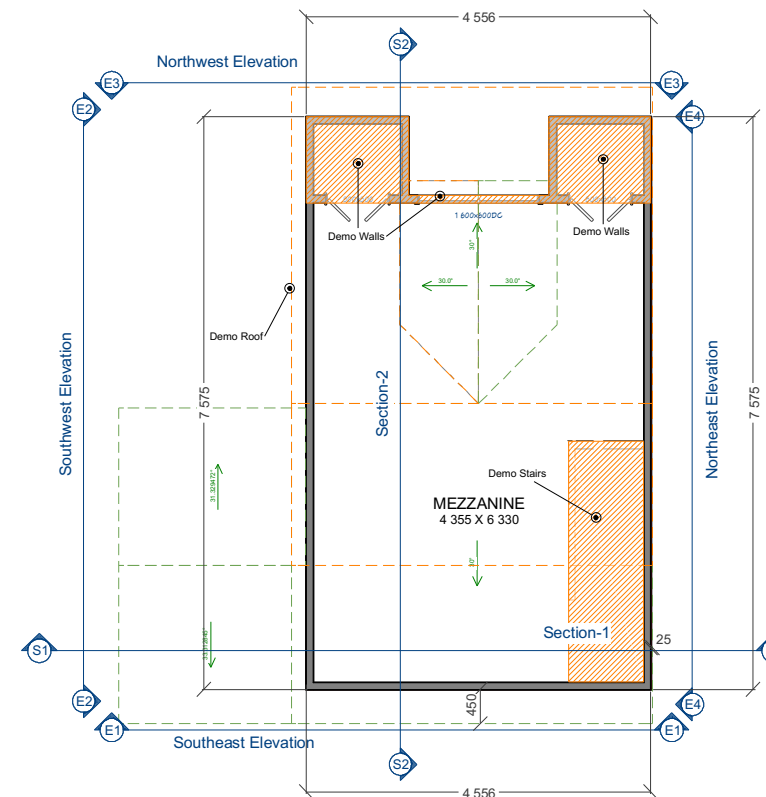
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SHEET:

3



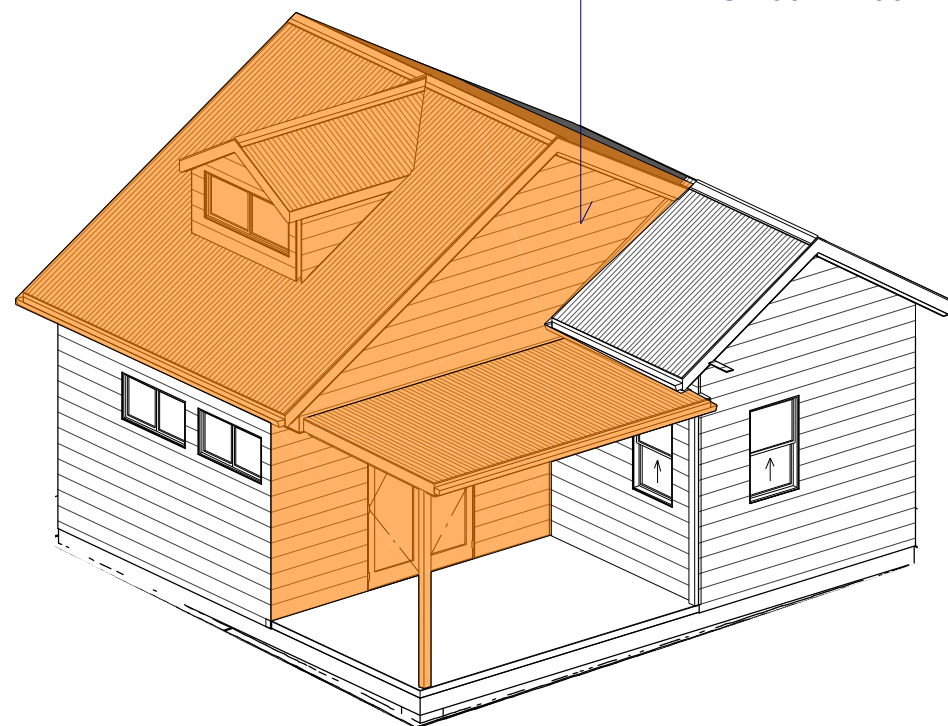
Ground Floor



1st Floor



ASSEMBLIES TO BE DEMOLISHED IN ACCORDANCE TO AS 2601 - 2001 "THE DEMOLITION OF STRUCTURES"



ASSEMBLIES TO BE DEMOLISHED IN ACCORDANCE TO AS 2601 - 2001 "THE DEMOLITION OF STRUCTURES"

REVISION TABLE	
NUMBER	DATE

SHEET TITLE:	
Demolition Plan	

PROJECT DESCRIPTION:	Conversion Of Existing Structure
	41-41A Garrong Road
	Lakemba NSW 2195

DRAWINGS PROVIDED BY:	Mark Marsden
	BE (MIEAust.)

DATE:

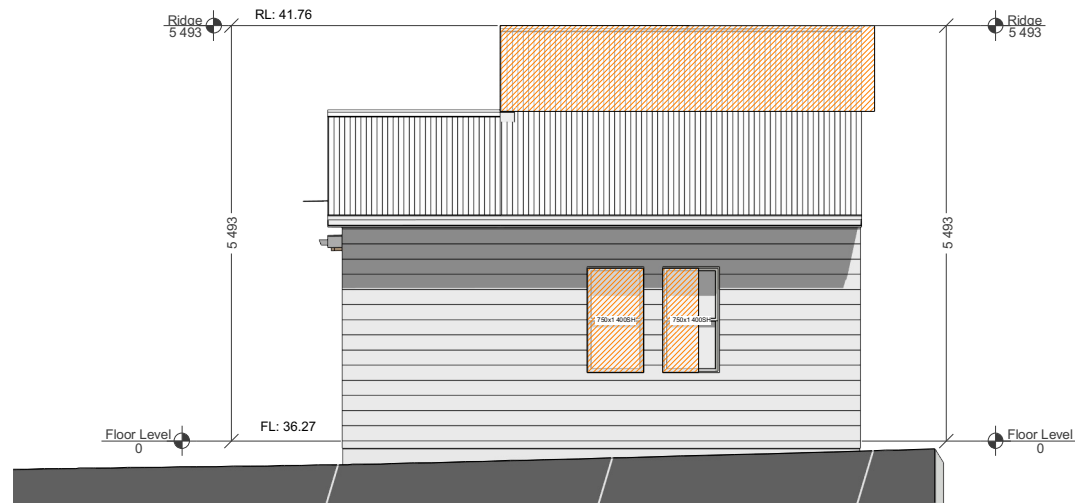
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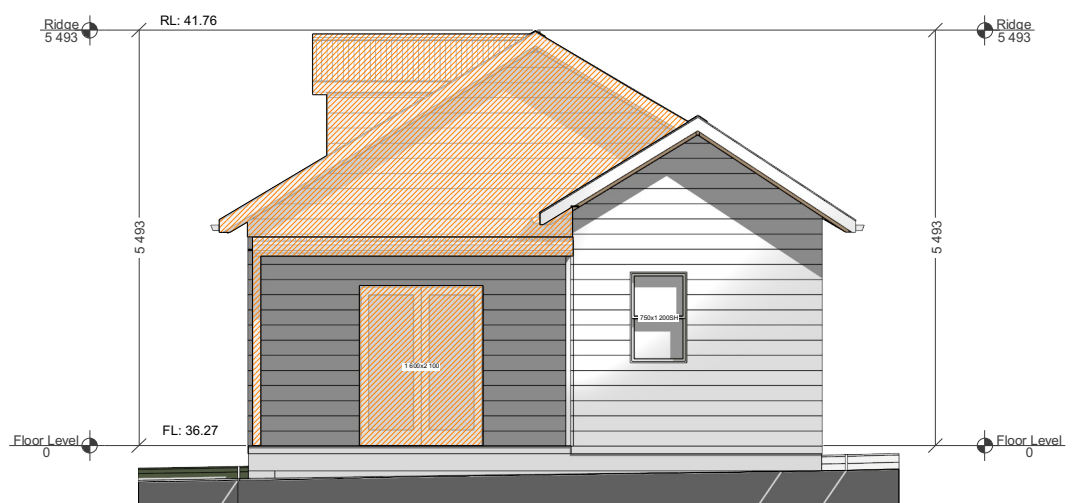
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SHEET:

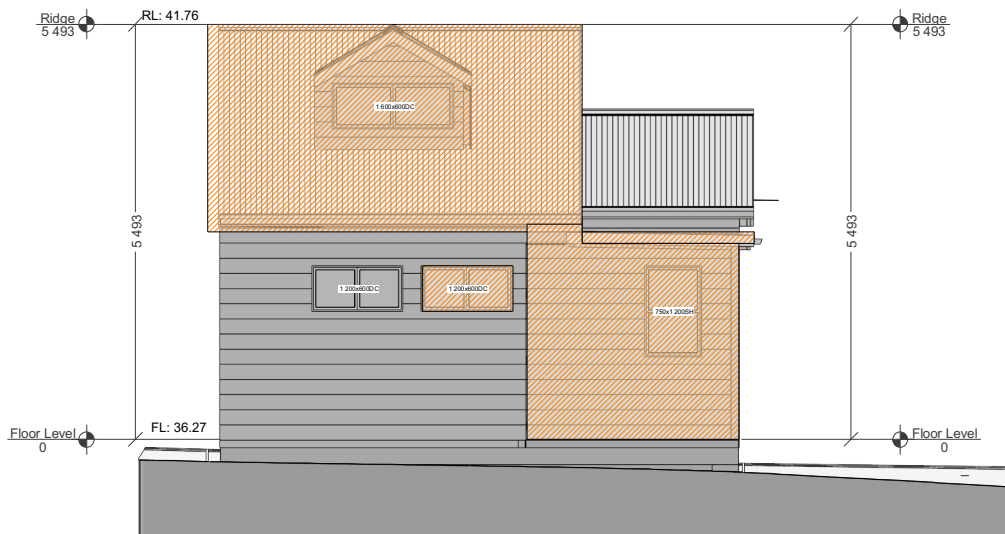
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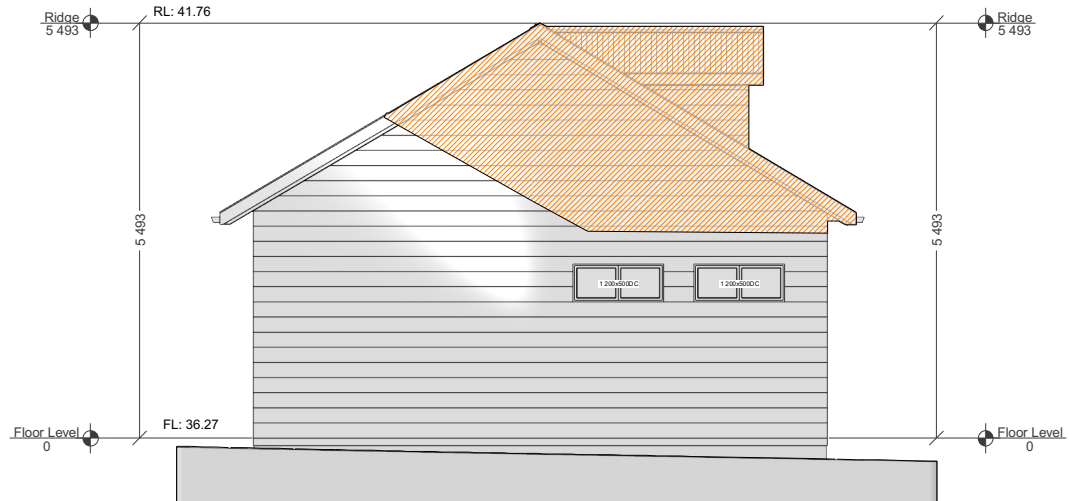
Southeast Elevation



Southwest Elevation



Northwest Elevation



Northeast Elevation



ASSEMBLIES TO BE DEMOLISHED IN ACCORDANCE TO
AS 2601 - 2001 "THE DEMOLITION OF STRUCTURES"

REVISION TABLE	
NUMBER	DATE

SHEET TITLE:
**Demolition
Analyse**

PROJECT DESCRIPTION:
**Conversion Of Existing Structure
41-41A Garrong Road
Lakemba NSW 2195**

DRAWINGS PROVIDED BY:
**Mark Marsden
BE (MIEAust.)**

DATE:

18.03.2024

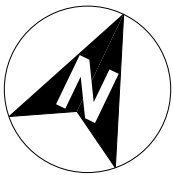
SCALE:

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SHEET:

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*Hard Wired Smoke Alarm to be installed in accordance with Part NSW 9.5.1 of NCC 2022 Housing provision standard.
* Mechanical ventilation to be provided as per NCC 2022 Housing provision standard Part 10.6.2 & 10.6.3(b).



STUD OPENING
Increase the height and width of all windows by 50mm

FLYSCREEN NOTES
All sliding doors' flyscreens should include mid bars.

GLAZING NOTES:
All glazing must adhere to AS1288 and BASIX certificate standards. Each window, when viewed from the outside, will have a fixed panel on the right and an opening panel on the left, unless otherwise specified. Sliding doors will open in the direction as indicated on the plan.

WINDOW FLASHING NOTES
For windows on clad walls, including acrylic rendered walls, flashings are required on all sides.

FLOOR FINISHES NOTES
Kindly be aware that a slight difference in floor finishes between adjoining rooms may exist.

MATERIALS WARRANTY
Please refer to individual manufacture's installation guides and warranty for all materials to be used in this construction.

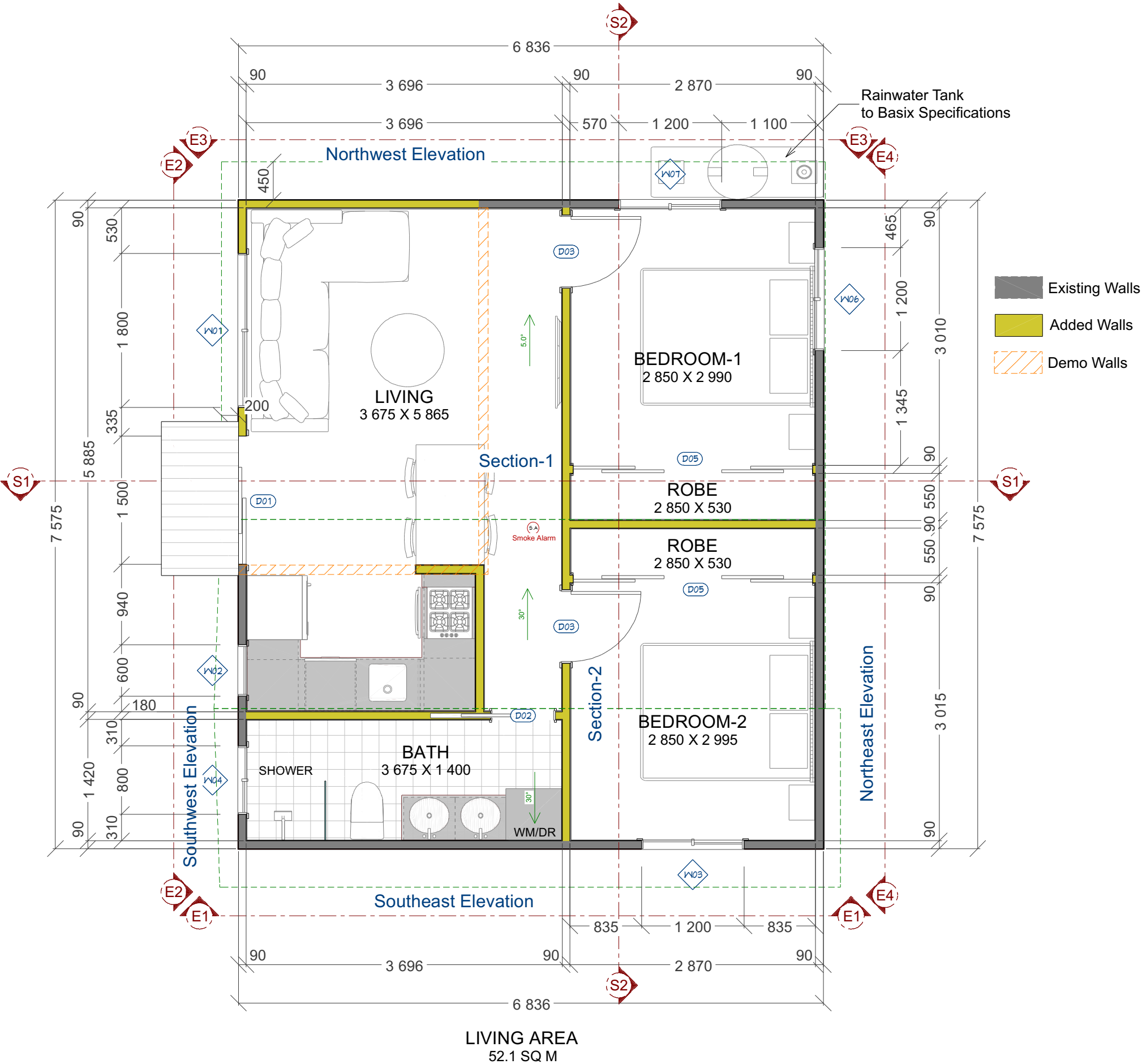
LANDSCAPING NOTE
In the absence of any specification in your contract, landscaping works around the building are not permitted. Upon completion of landscaping, it is imperative that the slab height remains at a minimum of 75 above the final landscaped level.

GUTTER & VALLEY NOTE
It is highly recommended that you install gutter-guard or a comparable product in all gutters and valleys when building near trees. This will prevent any leaf build-up and water overflow under the roof tiles or sheeting.

FLOOR LEVEL NOTE
Please note that the floor level depicted on the elevations may slightly vary on site due to site conditions and final levels after excavation and soil removal. In case of limited access, no dirt removal has been allowed for when leveling the site for a concrete slab, unless otherwise specified in your tender and building contract. If access interruptions need to be avoided, a decision on where to stockpile on-site must be made, or the cost of soil removal can be arranged for you.

Additionally, unless specified in your tender, no external steps to porches, drop edge beams, or retaining walls have been allowed for.

DIMENSIONS:
All dimensions on the plan indicate the distance between the framing components, and the width of surface components such as plasterboards and cladding panels are disregarded.



REVISION TABLE	
NUMBER	DATE

SHEET TITLE:
Proposed Floor Plan

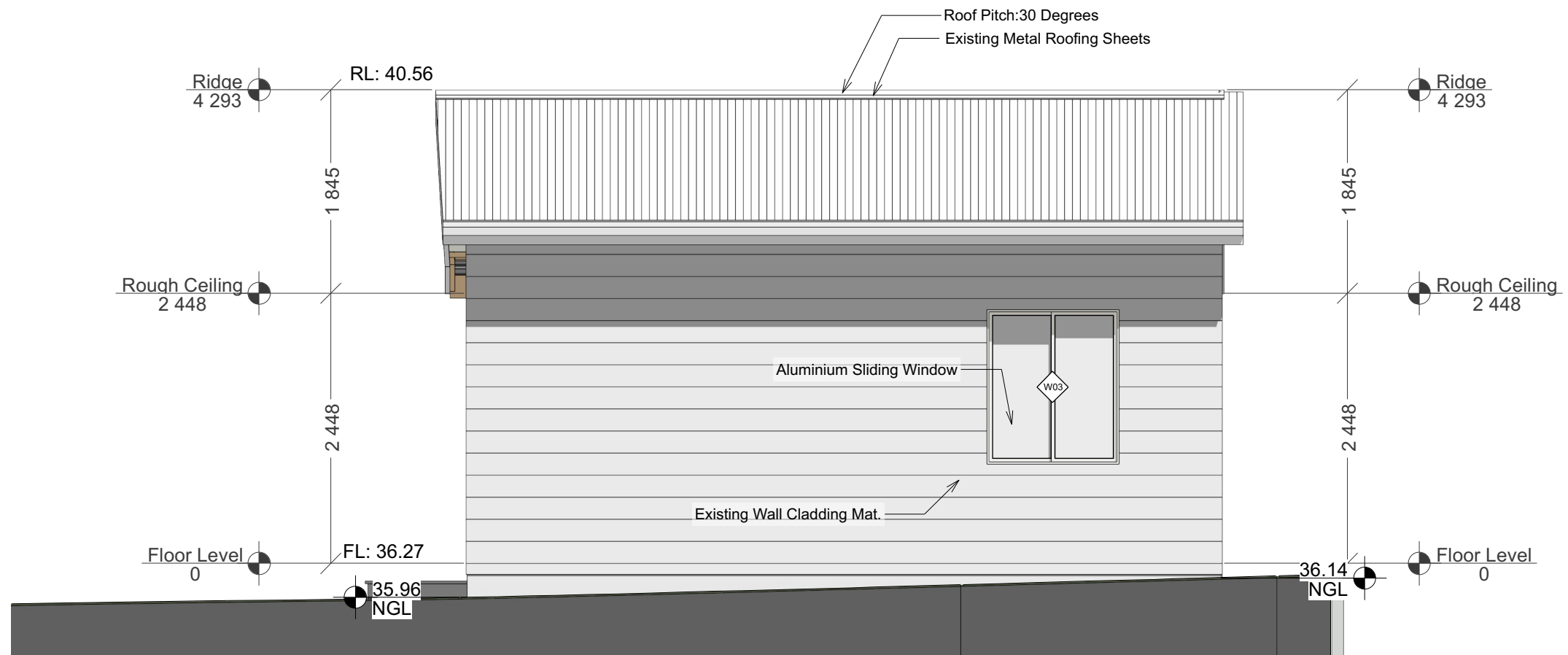
PROJECT DESCRIPTION:
Conversion Of Existing Sturcture
41-41A Garrong Road
Lakemba NSW 2195

DRAWINGS PROVIDED BY:
Mark Marsden
BE (MIEAust.)

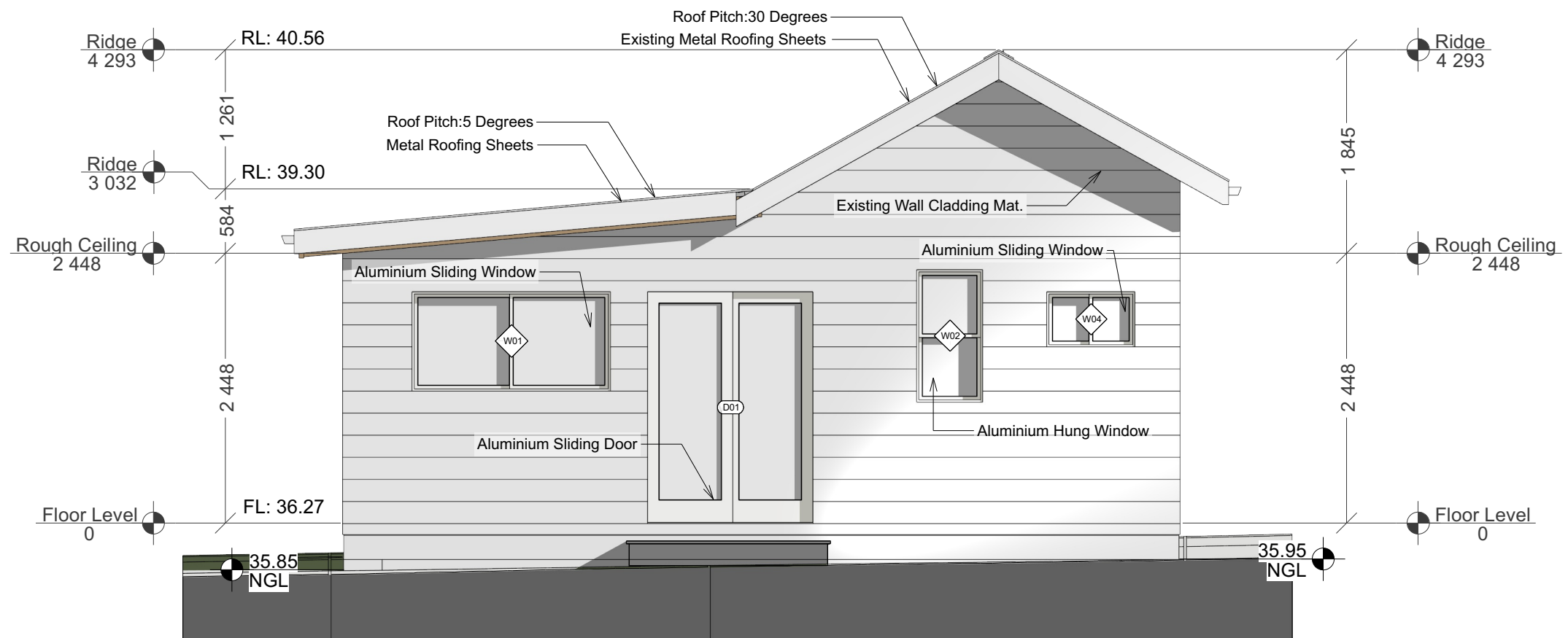
DATE:
18.03.2024

SCALE:
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SHEET:
6

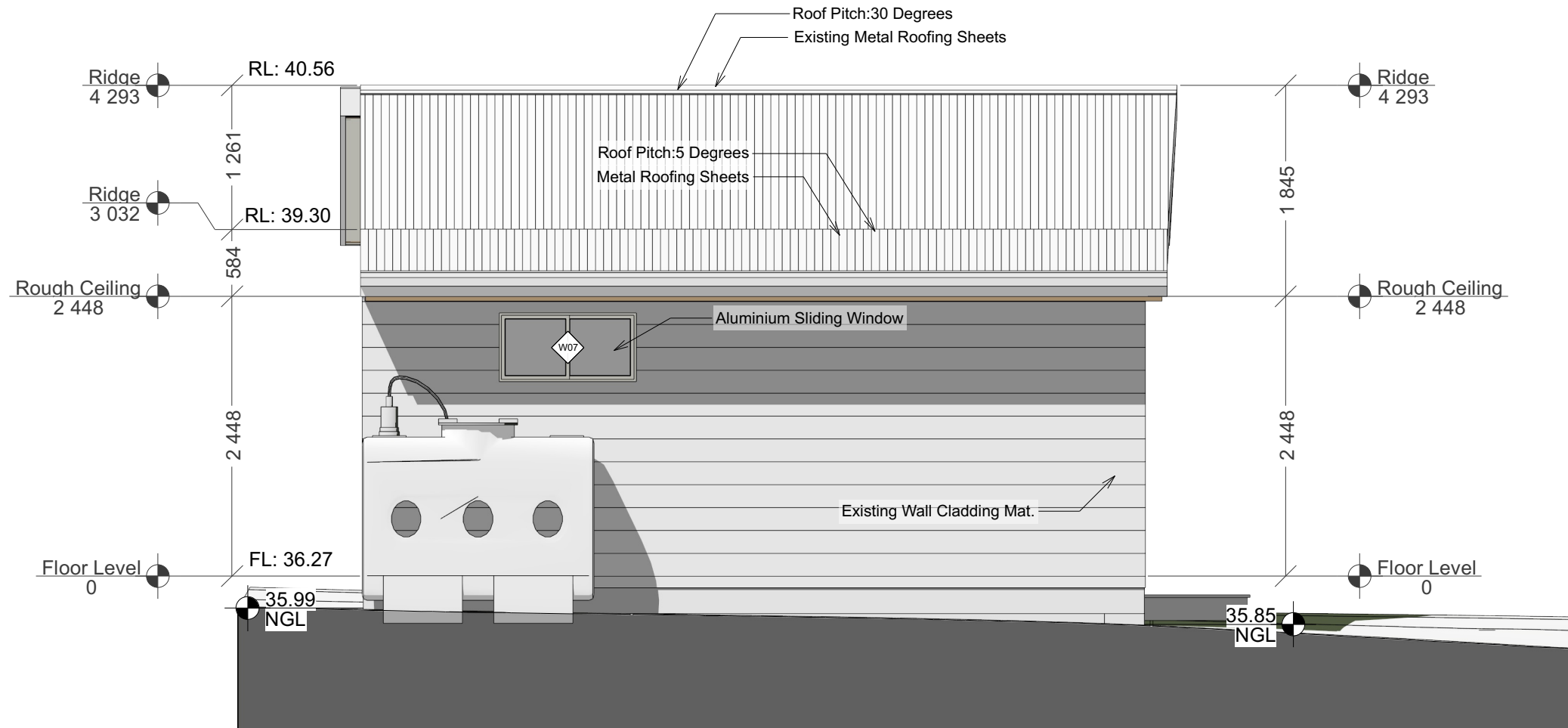


Southeast Elevation

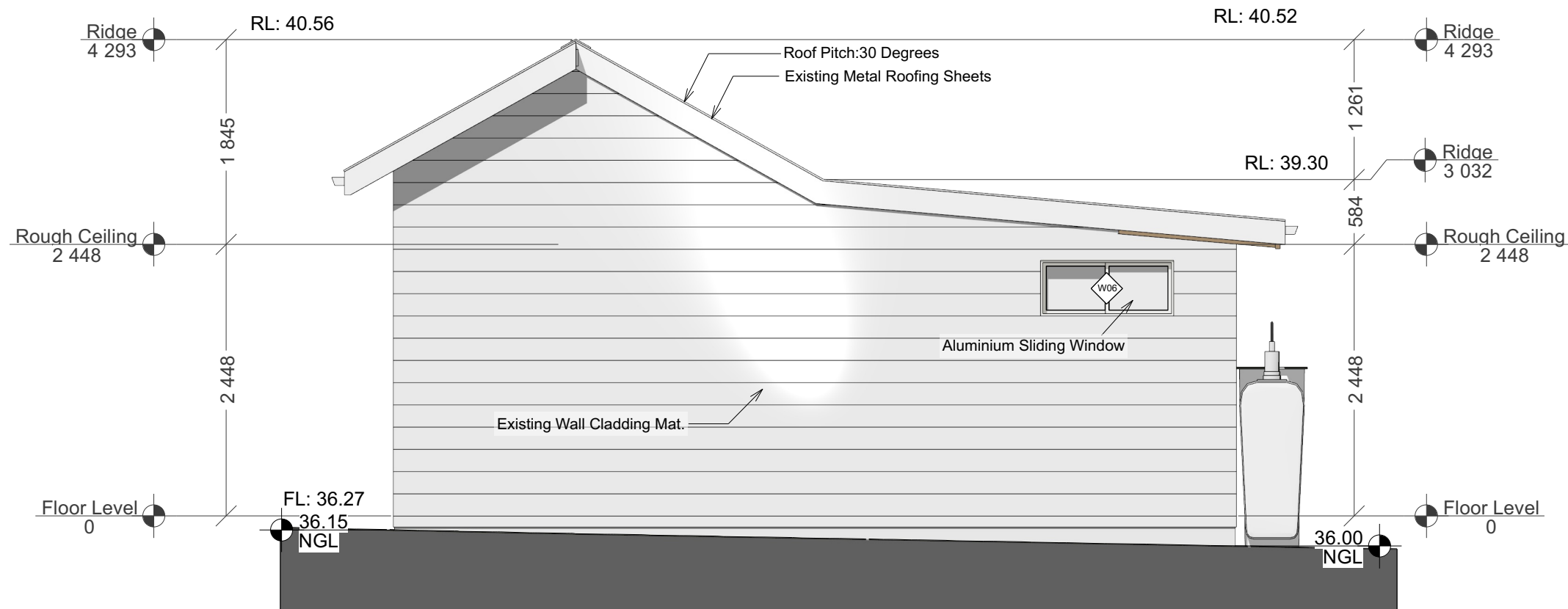


Southwest Elevation

REVISION TABLE	
NUMBER	DATE



Northwest Elevation



Northeast Elevation

REVISION TABLE	
NUMBER	DATE

SHEET TITLE:
**Proposed
Elevations**

PROJECT DESCRIPTION:
Conversion Of Existing Structure
41-41A Garrong Road
Lakemba NSW 2195

DRAWINGS PROVIDED BY:
Mark Marsden
BE (MIEAust.)

DATE:

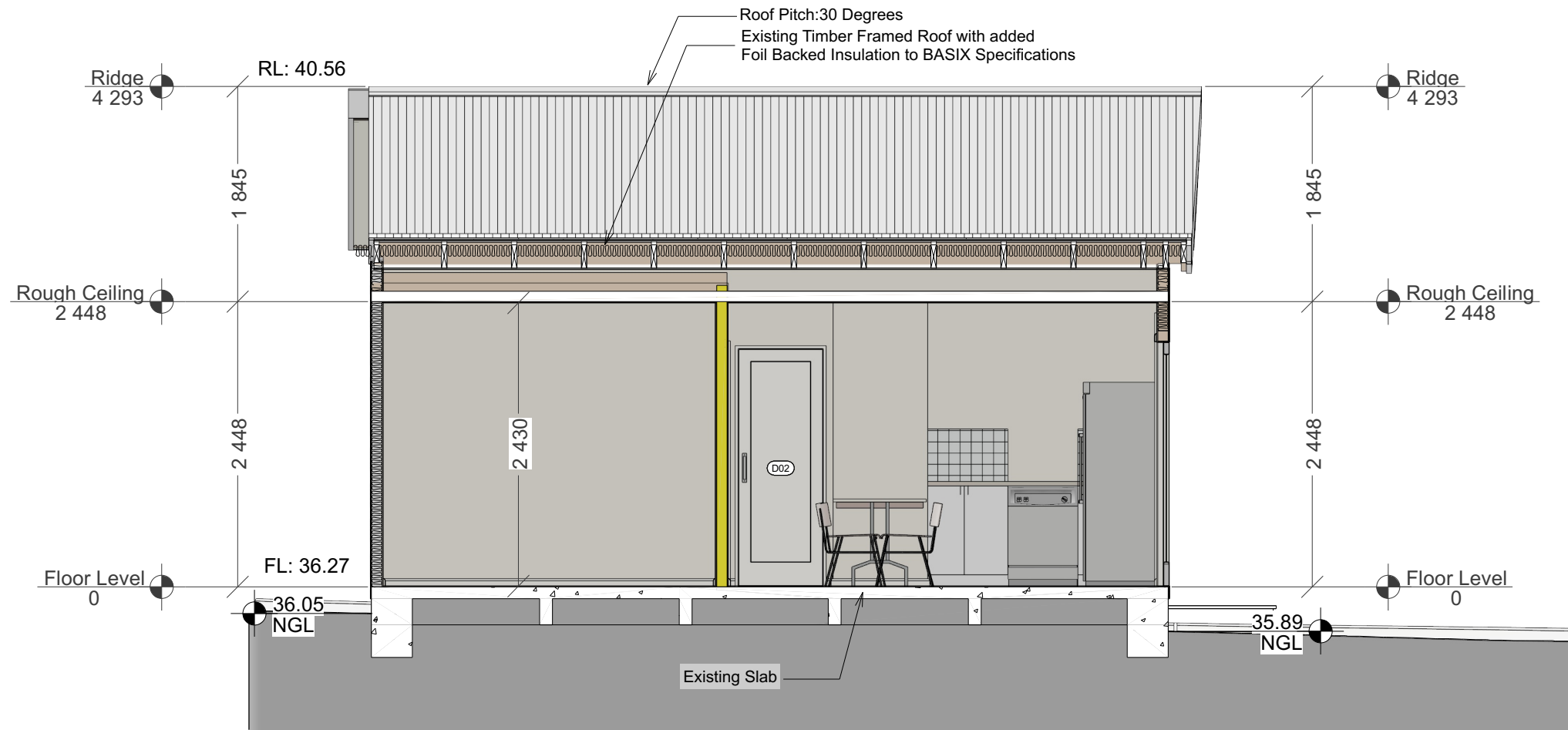
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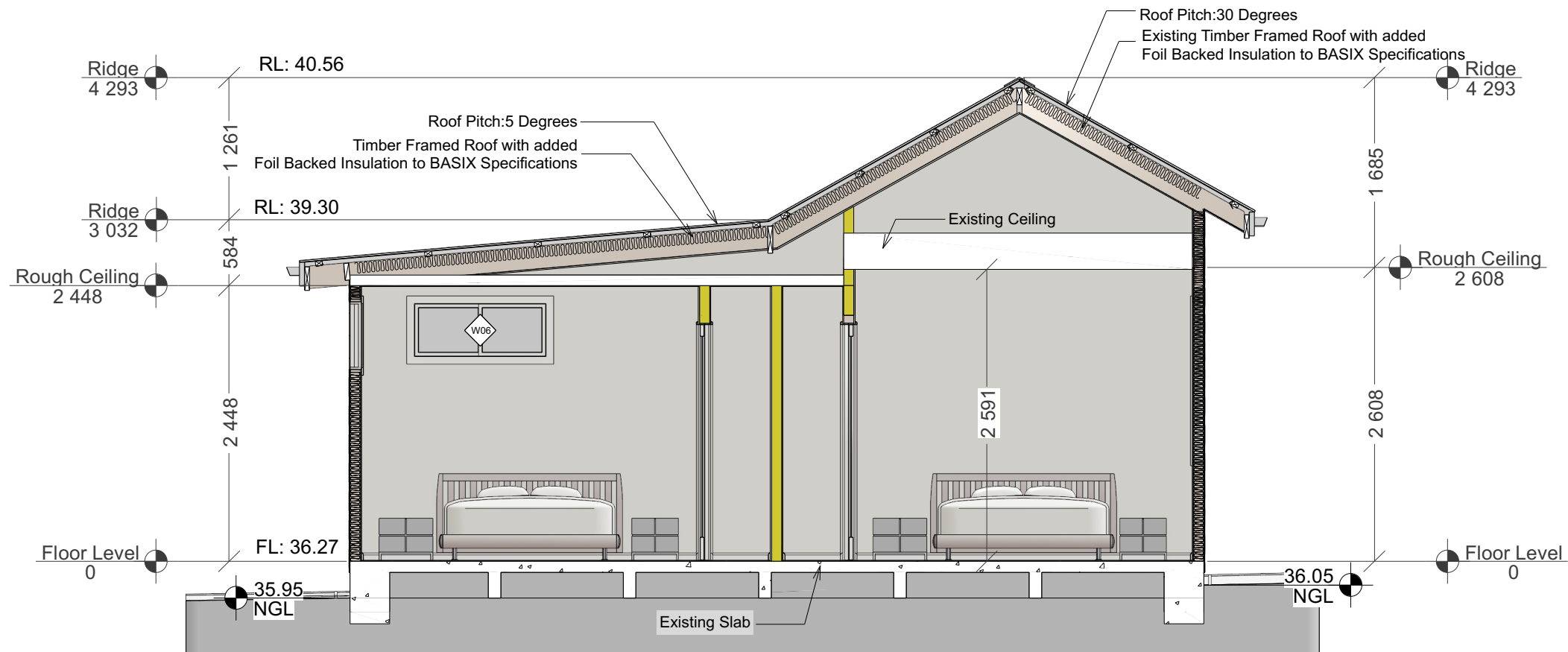
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SHEET:

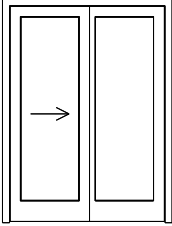
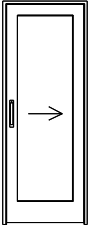
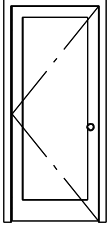
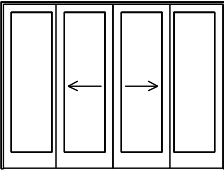
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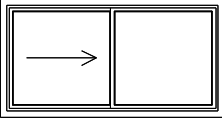
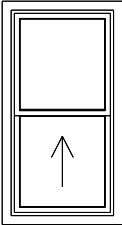
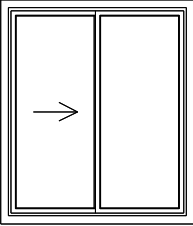
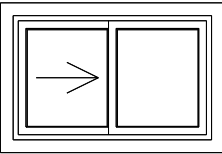
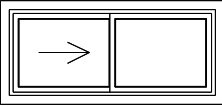
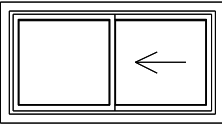


Cross Section-1



Cross Section-2

DOOR SCHEDULE						
3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	WIDTH	HEIGHT	DESCRIPTION
	D01	D01-1 500X2 100	1	1500	2100	EXT. SLIDER-GLASS PANEL DOUBLE GLAZED
	D02	720X2 040	1	720	2040	POCKET-PANEL
	D03	820X2 040	2	820	2040	HINGED-PANEL
	D05	2 800X2 100	2	2800	2100	ROBE DOORS

WINDOW SCHEDULE							
3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	DESCRIPTION
	W01	1 800X900LS	1	1 800X900LS	1800	900	LEFT SLIDING DOUBLE GLAZED
	W02	600X1 200SH	1	600X1 200SH	600	1200	SINGLE HUNG
	W03	1 200X1 400LS	1	1 200X1 400LS	1200	1400	EXISTING WINDOW
	W04	800X500LS	1	800X500LS	800	500	LEFT SLIDING
	W06	1 200X500LS	1	1 200X500LS	1200	500	EXISTING WINDOW
	W07	1 200X600RS	1	1 200X600RS	1200	600	EXISTING WINDOW

REVISION TABLE	
NUMBER	DESCRIPTION

SHEET TITLE:	
Schedules	

PROJECT DESCRIPTION:	
Conversion Of Existing Steructure 41-41A Garrong Road Lakemba NSW 2195	

DRAWINGS PROVIDED BY:	
Mark Marsden BE (MIEAust.)	

DATE:

18.03.2024

SCALE:

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SHEET:

10

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at: www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 18 April 2024
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary		
Project name	Lakemba Update	
Street address	41 GARRONG ROAD LAKEMBA 2195	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	Deposited Plan DP932191	
Lot no.	2	
Section no.	-	
Project type	dwelling house (detached) - secondary dwelling	
No. of bedrooms	2	
Project score		
Water	✔ 41	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 68	Target 68
Materials	✔ 34	Target n/a

Certificate Prepared by	
Name / Company Name: RELIANT CONCEPTS PTY LTD	
ABN (if applicable): 25652684583	

Description of project

Project address		Assessor details and thermal loads	
Project name	Lakemba Update	Assessor number	n/a
Street address	41 GARRONG Road LAKEMBA 2195	Certificate number	n/a
Local Government Area	Canterbury-Bankstown Council	Climate zone	n/a
Plan type and plan number	Deposited Plan DP932191	Area adjusted cooling load (MJ/m ² year)	n/a
Lot no.	2	Area adjusted heating load (MJ/m ² year)	n/a
Section no.	-		
Project type		Project score	
Project type	dwelling house (detached) - secondary dwelling	Water	✓ 41 Target 40
No. of bedrooms	2	Thermal Performance	✓ Pass Target Pass
Site details		Energy	✓ 68 Target 68
Site area (m ²)	506	Materials	✓ 34 Target n/a
Roof area (m ²)	58		
Conditioned floor area (m ²)	46.98		
Unconditioned floor area (m ²)	5.14		
Total area of garden and lawn (m ²)	95		
Roof area of the existing dwelling (m ²)	145		
Number of bedrooms in the existing dwelling	3		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but ≤ 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 43 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">the cold water tap that supplies each clothes washer in the development		✓	✓
<ul style="list-style-type: none">at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Do-it-yourself Method			
General features			
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓

Construction	Area - m ²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground, conventional slab.	52.1	nil/not specified	nil	
external wall: framed (solid or reconstituted timber weatherboard), frame: timber - H2 treated softwood.	all external walls	2.50 (or 3.00 including construction) fibreglass batts or roll	nil	wall colour: Medium (solar absorptance 0.48-0.7)
internal wall: plasterboard, frame: timber - H2 treated softwood.	37.5	fibreglass batts or roll	nil	

Construction	Area - m ²	Additional insulation required	Options to address thermal bridging	Other specifications
ceiling and roof - flat ceiling / pitched roof, framed - metal roof, timber - H2 treated softwood.	31.5	ceiling: 5 (up), roof: foil/sarking, ceiling: fibreglass batts or roll, roof: foil/sarking	nil	roof space ventilation: unventilated; roof colour: medium (solar absorptance 0.48-0.59); ceiling area fully insulated
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - H2 treated softwood.	26.5	ceiling: 5 (up), roof: foil/sarking, ceiling: fibreglass batts or roll, roof: foil/sarking	nil	roof colour: medium (solar absorptance 0.48-0.59); ceiling area fully insulated
Note:	• Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.			
Note:	• If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (6)) of the National Construction Code.			
Note:	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			
Note:	• Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.			

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Ceiling fans			
The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.	✓	✓	✓
<ul style="list-style-type: none">The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code.	✓	✓	✓



REVISION TABLE
NUMBER DATE REVISOR DESCRIPTION

SHEET TITLE:
BASIX Specifications
(1/2)

PROJECT DESCRIPTION:
Conversion Of Existing Structure
41-41A Garrong Road
Lakemba NSW 2195

DRAWINGS PROVIDED BY:
Mark Marsden
BE (MIEAust.)

DATE:
18.03.2024
SCALE:
SHEET:
11

Glazed window/door no.	Orientation	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
W06	NE	500.00	1200.00	aluminium, single glazed (U-value <=6, SHGC 0.74 - 0.90)	none	not overshadowed
W03	SE	1400.00	1200.00	aluminium, single glazed (U-value <=6, SHGC 0.74 - 0.90)	eave 450 mm, 600 mm above head of window or glazed door	not overshadowed
W04	SW	500.00	800.00	aluminium, single glazed (U-value <=6, SHGC 0.74 - 0.90)	eave 250 mm, 1500 mm above head of window or glazed door	not overshadowed

ASIX Department of Planning and Environment www.basix.nsw.gov.au Version: 4.02 / EUCALYPTUS_03_01_0 Certificate No.: 1744191S Thursday, 18 April 2024 page 10/11

NSIX Department of Planning and Environment www.basix.nsw.gov.au Version: 4.02 / EUCALYPTUS_03_01_0 Certificate No.: 1744191S Thursday, 18 April 2024 page 8/1

ASIX Department of Planning and Environment www.basix.nsw.gov.au Version: 4.02 / EUCALYPTUS_03_01_0 Certificate No.: 1744191S Thursday, 18 April 2024 page 11/11

Department of Planning and Environment | www.dpe.nsw.gov.au | Version: 4.02 | EOCAL F100_V0_V1_V | Certificate No.: 17441910 | Monday, 10 April 2024 | page 1112